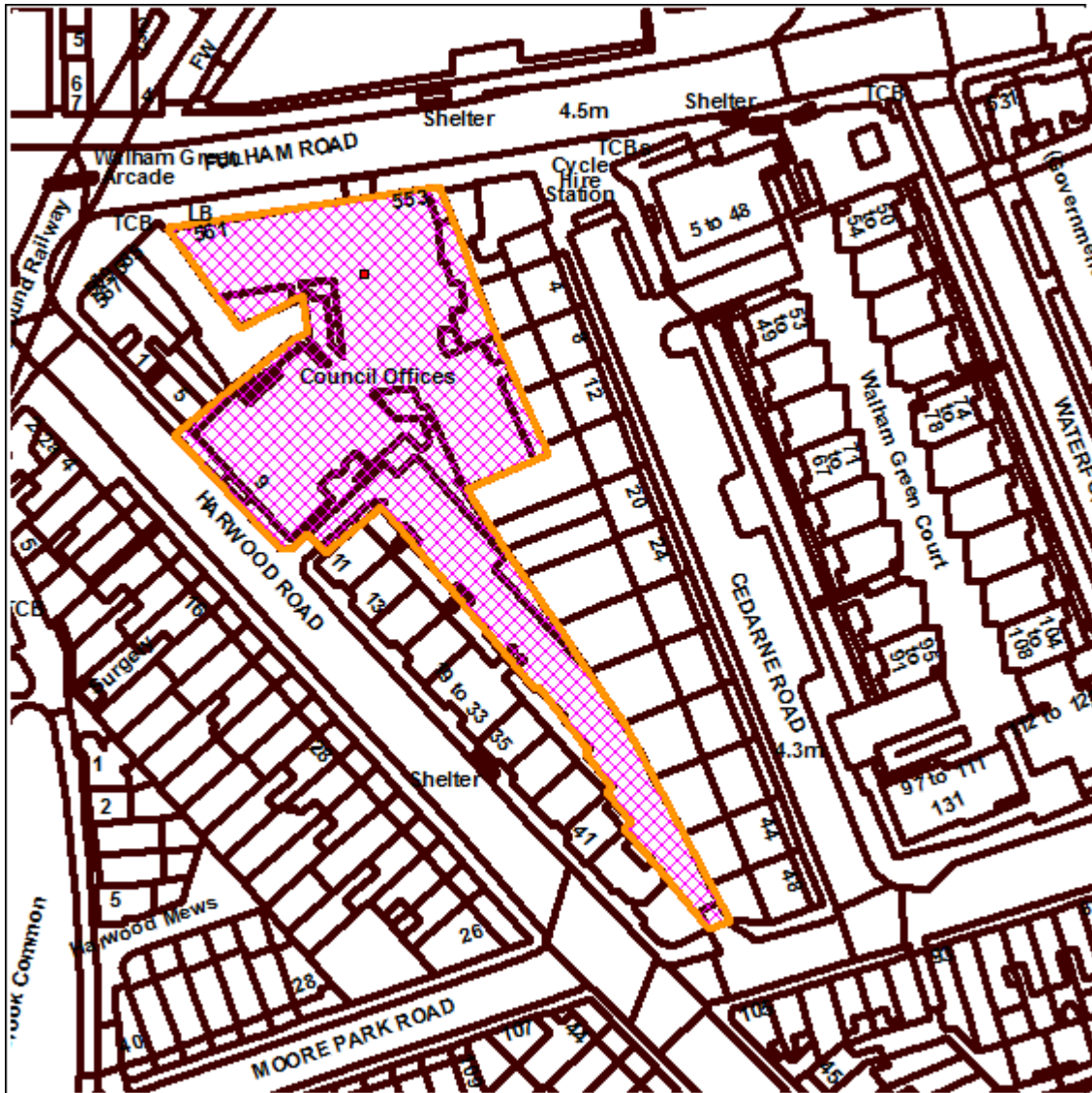


Ward: Parsons Green and Walham

Site Address:

Fulham Town Hall, 553-561 Fulham Road, London SW6 1ER



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For identification purposes only - do not scale.

Reg. No:
2019/01872/LBC

Case Officer:
Jacques du Plessis

Date Valid:
12.06.19

Conservation Area:
Walham Green Conservation Area - Number 14

Committee Date:
07.07.2020

Applicant:

C/O Agent

Description:

Change of use of part of the building from Town Hall (Sui Generis) to a hotel (Use Class C1) with integral and ancillary uses including bar/restaurants, meeting rooms and conference/event space and change of use of the remainder of the building to a co-working space (Use Class B1); the provision of ancillary parking spaces and service area with access from Harwood Road and Moore Park Road; raising of pavement to form a ramped pedestrian entrance from Harwood Road; erection of an additional storey at roof level (plus a storey of plant) and a four storey rear extension to the 1934 Extension following demolition of single storey corridor link to Harwood Road Wing; erection of additional storeys at second and third floor levels plus plant at fourth floor level to the Harwood Road Wing following demolition of former caretaker's flat at second floor level; erection of a fire escape stair and part three, part five storey (plus plant) extension to the rear of the Concert Hall/Council Chamber close to the Cedarne Road boundary; enclosure of central lightwell in connection with installation of new lifts; erection of new lift and stair cores to the north and south sides of the Harwood Road Wing; replacement of selected windows; various window alterations; installation of fixed glazed acoustic screens to exterior of selected windows and various other external alterations in connection with the change of use; various minor basement excavations and various internal demolition works and internal alterations including changes to the layout of the Council Chamber, the installation of fire lobbies, pod bathrooms, lifts and the installation of secondary glazing to selected windows.

Drg Nos: See condition no. 2

Application Type:
Listed Building Consent

Officer Recommendation:

- 1) That the Chief Planning Officer be authorised to grant listed building consent upon the completion of a satisfactory legal agreement and subject to the conditions listed below.

- 2) That the Chief Planning Officer after consultation with the Head of Law and the Chair of the Planning and Development Control Committee be authorised to make any minor changes to the proposed Heads of Terms of the legal agreement or conditions, which may include the variation, addition or deletion of conditions, any such changes shall be within their discretion.

CONDITIONS

Definitions

Enabling Works: Enabling Works as referred to in the conditions shall comprise only of: any MEP/utility relocation/installations, external archaeological site investigations and surveys, boreholes and trial pits, internal or external exploratory works necessary to discharge specific conditions, and ecological surveys/investigations.

3 Years

- 1) The works hereby granted consent shall not commence later than the expiration of 3 years beginning with the date upon which this consent is granted.

Condition required to be imposed by Section 18(1) (a) of the Planning (Listed Buildings and Conservation Areas) Act 1990 (as amended by section 51 of the Planning and Compulsory Purchase Act 2004).

Approved Drawings

- 2) The works shall be carried out and completed only in accordance with the following approved drawings.

Proposed

FTH.PA.1200-B; FTH.PA.1300-A; FTH.PA.1401-B; FTH.PA.1400-A;
FTH.PA.1410-A; FTH.PA.1411-A; FTH.PA.1420-A; FTH.PA.1430-A;
FTH.PA.1440-B; FTH.PA.2410-C; FTH.PA.2411-B; FTH.PA.2412-B;
FTH.PA.2413-A; FTH.PA.2420-C; FTH.PA.2421-C; FTH.PA.2422-C;
FTH.PA.2423-B; FTH.PA.2521-B; FTH.PA.3400-C; FTH.PA.3410-C;
FTH.PA.3420-B; FTH.PA.3430-B; FTH.PA.3440-C; FTH.PA.5400-A;
FTH.PA.5401-A; FTH.PA.5402-A; FTH.PA.5403-A; FTH.PA.5404-A;
FTH.PA.5405-A; FTH.PA.5406-A; FTH.PA.5407-A; FTH.PA.5501-A;
FTH.PA.5502-A; FTH.PA.5503-A; FTH.PA.5504-A; FTH.PA.5505-A;
FTH.PA.5506-A; FTH.5507-A; FTH.5508-A; FTH.PA. 5509-A; FTH.PA.5521-A;
FTH.PA.5522-A; FTH.PA.5523-A; FTH.PA.5524-A; FTH.PA.5530-10-A;
FTH.PA.5530-20-A; FTH.PA.8000-A; FTH.PA.8010-10-B; FTH.PA.8010-20-B;
FTH.PA.8010-30; FTH.PA.8020; FTH.PA.9401-A; FTH.PA.9400-A;
FTH.PA.9410-A; FTH.PA.9411-A; FTH.PA.9420-A; FTH.PA.9430-A;
FTH.3.AreaSchedule; FTH.3.RoomSchedule;

Existing

FTH.X.1401-A; FTH.X.1400-A; FTH.X.1410-A; FTH.X.1411-A; FTH.X.1420-A;
FTH.X.1440-A; FTH.X-2410-A; FTH.X-2411-A; FTH.X-2412-A; FTH.X-2420-A;
FTH.X-2421-A; FTH.X-2422-A; FTH.X-2423-A; FTH.X-3400-A; FTH.X-3410-A;
FTH.X-3420-A; FTH.X-3430-A; FTH.X.5400-A; FTH.X.5401-A; FTH.X.5402-A;
FTH.X.5403-A; FTH.X.5404-A; FTH.X.5406-A; FTH.X.5407-A; FTH.X.5501-A;;

FTH.X.5502-A; FTH.X.5503-A; FTH.X.5504-A; FTH.X.5505-A; FTH.X.5506-A;
FTH.X.5507-10A; FTH.X.5507-20A; FTH.X.5508-A; FTH.X.5509-A;
FTH.X.5521-A; FTH.X.5522-A; FTH.X.5523-A; FTH.X.5524-A; FTH.X.5540-10-
A; FTH.X.5540-20-A;

In order to ensure full compliance with the application hereby approved, to prevent harm arising through deviations from the approved plans and to preserve the special architectural or historic interest of the listed building in accordance with Policies DC1, DC4 and DC8 of the Local Plan.

Building Contract

- 3) The works hereby permitted shall not commence until a signed building contract(s) for the conversion, refurbishment, repair, restoration and extension of the whole building in accordance with this listed building consent has been submitted to and approved in writing by the Local Planning Authority.

To ensure that works do not take place prematurely and to preserve the special architectural or historic interest of the listed building in accordance with Policy DC8 of the Local Plan 2018.

Structural Engineers Report

- 4) Prior to commencement of any works of demolition or alteration to the Town Hall, a detailed structural engineer's report, drawings and a method statement shall be submitted to and approved in writing by the Local Planning Authority (including details of any temporary works required) and shall:
- a) Provide details of the existing structural arrangement and structural condition of the building;
 - b) Provide details of the construction methodology and details of any temporary works required to facilitate the works and how the impact of both of these on the significance of the listed building has been minimised;
 - c) Demonstrate the safety and stability of the building structure to be retained during the proposed works, demolition, and reconstruction.
 - d) Provide confirmation that there will be no damage to the listed building or adjacent buildings as a result of the works.
 - e) Provide details of a structural monitoring regime for the listed building through the duration of the works, including monitoring of any ground movement and damage to internal finishes.

The works shall be carried out in accordance with the approved details.

In order to protect the structure and fabric of the listed building and to preserve the special architectural or historic interest of the listed building in accordance with Policies DC1, DC4 and DC8 of the Local Plan.

Phasing / Programme

- 5) Prior to commencement of any works (excluding Enabling Works), a phased programme for carrying out all of the approved works shall be submitted to and approved in writing by the Local Planning Authority which shall include the repair, refurbishment and fit out of the Town Hall. The works shall be carried out in accordance with the approved programme.

In order to preserve the special architectural or historic interest of the listed building in accordance with Policy DC8 of the Local Plan.

MATERIALS

Matching materials

- 6) All new external and internal works and finishes and works of making good to the retained fabric shall match the existing adjacent work with regards to the methods used and to the material, colour, texture and profile, unless shown otherwise on the drawings or other documentation hereby approved or required by any condition attached to this consent.

In order to preserve the special architectural or historic interest of the listed building in accordance with Policy DC8 of the Local Plan.

Matching Brickwork

- 7) Any areas of new facing brickwork to the Town Hall shall match the existing adjacent brickwork in respect of colour, texture, bond, pointing style, mortar, colour and mix.

In order to preserve the special architectural or historic interest of the listed building in accordance with Policy DC8 of the Local Plan.

Matching Stonework

- 8) Any areas of new stonework shall match the existing stonework in respect of materials, colour and texture.

In order to preserve the special architectural or historic interest of the listed building in accordance with Policy DC8 of the Local Plan.

No Additional External Features

- 9) No new plumbing, pipes, soil stacks, flues, chimneys, vents, ductwork, ventilation fans, extraction equipment, air-conditioning units, grilles, security alarms, lighting, cameras or other items shall be fixed to the external surfaces of the building unless shown on the drawings hereby approved or submitted to and approved in writing by the Local Planning Authority.

In order to preserve the special architectural or historic interest of the listed building in accordance with Policy DC8 of the Local Plan.

Window and Door Schedules

- 10) Prior to commencement of any works (excluding Enabling Works) a schedule of existing windows, doors and door furniture and internal glazing shall be prepared and shall be submitted to and approved in writing by the Local Planning Authority. The schedule shall include a photograph of each window/door, provide a description of the current condition of each item, and identify the location of each item on a floor plan.

In order to preserve the special architectural or historic interest of the listed building in accordance with Policy DC6 and DC8 of the Local Plan 2018.

Window and Door Details, and Method Statement

- 11) Prior to commencement of the relevant works (excluding Enabling Works) as set out in the agreed Phasing Programme, details, including a method statement, of all repairs, alterations and replacements to all retained external and internal windows, doors and associated ironmongery, including detailed drawings (by window and door type) at a scale of not less than 1:20 in plan, section and elevation of all new, refurbished and replacement windows and doors, and details of materials, frame and glazing bar profiles, opening style, subdivision (including window model samples and samples of glass) and secondary glazing (including details of opening style and sub-division) and any other acoustic and environmental upgrades to existing windows and doors shall be submitted to and approved in writing by the Local Planning Authority. The works shall be implemented in accordance with the approved details prior to the occupation of the building and shall thereafter be permanently retained.

In order to preserve the special architectural or historic interest of the listed building in accordance with Policy DC1, DC4, DC6 and DC8 of the Local Plan 2018.

Schedule and Specification of External Works

- 12) Prior to commencement of any works (excluding Enabling Works) a schedule, specification and detailed drawings at a scale not less than 1:20 in plan, section and elevation of all external works including details of refurbishment, repairs and restoration in respect of each external surface of the building, including stone, detailed stone detailing, brick, concrete and roofs shall be submitted to and approved in writing by the Local Planning Authority. The works shall be implemented in accordance with the approved details and shall thereafter be permanently retained in this form.

In order to preserve the special architectural or historic interest of the listed building in accordance with Policies DC1, DC4 and DC8 of the Local Plan 2018.

Details of External Materials

- 13) Prior to commencement of the relevant works (excluding Enabling Works) as set out in the agreed Phasing Programme, details in respect of the following, shall be submitted to and approved in writing by the Local Planning Authority:
- a) Samples of all external materials as specified on the approved drawings to be used in the works, including the plant rooms. This should include brick, stone, metal, GRC, aggregate and roof materials and any other proposed surface and cladding materials;
 - b) A 1:1 mock-up of typical new facades and connections with the existing listed building to show all external materials to be used in the development including brickwork and stonework sample panels (identifying type, colour, bond, pointing style, mortar colour and mix) that shall be erected on site in a location to be agreed in writing by the Local Planning Authority for the inspection and approval of the Council's conservation officer prior to commencement of the relevant works;
 - c) Samples and specification of external paint colours;
 - d) Detailed drawings at a scale of not less than 1:20 in plan, section and elevation of all works, repairs and restoration to external elevations and roofs;
 - e) Detailed drawings at a scale of not less than 1:20 in plan, section and elevation of all junctions between the approved extensions and the listed building.

The works shall be implemented in accordance with the approved samples, sample panels and details prior to occupation of the development and shall thereafter be permanently retained.

To preserve the special architectural and historic interest of the listed building in accordance with Policies DC1, DC4 and DC8 of the Local Plan 2018.

Schedule and Specification of Internal Works

- 14) Prior to commencement of the relevant works (excluding Enabling Works) as set out in the agreed Phasing Programme a schedule and specification of all internal works for each room and circulation space including details of refurbishment, repairs, restoration and fit out of each internal element within the listed building shall be submitted to and approved in writing by the Local Planning Authority. The works shall be implemented in accordance with the approved details prior to occupation of the development and shall thereafter be permanently retained.

In order to preserve the special architectural or historic interest of the listed building in accordance with Policies DC1, DC4 and DC8 of the Local Plan 2018.

Detailed Internal Drawings

- 15) Prior to commencement of the relevant works (excluding Enabling Works) as set out in the agreed Phasing Programme, detailed drawings of proposed room

layout for each room at a scale no less than 1:100, and all other details of the proposed works, repair and restoration of all internal spaces within the building (including all rooms and circulation spaces) at a scale of not less than 1:20 in plan, section and elevation shall be submitted to and approved in writing by the Local Planning Authority. The works shall be implemented in accordance with the approved details prior to occupation of the building and shall thereafter be permanently retained.

In order to preserve the special architectural or historic interest of the listed building in accordance with Policies DC1, DC4 and DC8 of the Local Plan 2018.

Internal Material Samples (General)

- 16) Prior to commencement of the relevant works (excluding Enabling Works) as set out in the agreed Phasing Programme, details and samples of all new and replacement internal materials including all surface finishes and all paint colours including those to be used in works to flooring, walls, ceilings, stairs, balustrades, internal light fittings (in particular to ceilings, recessed fittings, design of pendants, lighting rafts) shall be submitted to and approved in writing by the Local Planning Authority. The works shall be implemented in accordance with the approved details prior to occupation of the development and shall thereafter be permanently retained.

In order to preserve the special architectural or historic interest of the listed building in accordance with Policies DC1, DC4 and DC8 of the Local Plan 2018.

Detailed Drawings and Materials (M&E Servicing)

- 17) Prior to the commencement of any works (excluding Enabling Works) details including detailed drawings at a scale of not less than 1:20 in plan, section and elevation and material samples (where necessary) of all internal services including plumbing, heating, ventilation, electrical and data services shall be submitted to and approved in writing by the Local Planning Authority. Details shall include the position, type, and method of installation of services, as well as any associated risers, conduits, vents and fittings. The works shall be implemented in accordance with the approved details prior to occupation of the development and shall thereafter permanently retained.

In order to preserve the special architectural or historic interest of the listed building in accordance with Policies DC1, DC4 and DC8 of the Local Plan 2018.

Method Statements and Associated Drawings

- 18) Prior to commencement of the relevant works (excluding Enabling Works) as set out in the agreed Phasing Programme a Method Statement, and detailed drawings in plan, section and elevation at a scale of no less than 1:20, in respect of the following, shall be submitted to and approved in writing by the Local Planning Authority:

- a) Refurbishment and/or alterations to the layout of the fixed seating in the Council Chamber;
- b) Alterations to and relocation of the timber screen (with stained glass) in the former Registrar's Office on the ground floor of the Harwood Road wing;
- c) Alterations and repairs to walls and ceilings including any decorative features including timber panelling;
- d) Alterations and repairs to all glazed wall tile areas;
- e) The retention in situ of the Harwood Road wing porch steps and their protection during the installation of the Harwood Road entrance ramp;
- f) Alterations/refurbishment to the terrazzo, mosaic and timber (including parquet) flooring.
- g) Repair and restoration of external stone work and decorative stone features.

The works shall be implemented in accordance with the approved details prior to occupation of the development and shall thereafter be permanently retained.

In order to preserve the special architectural or historic interest of the listed building in accordance with Policies DC1, DC4 and DC8 of the Local Plan 2018.
Architectural Features Protection Method Statement

- 19) Prior to the commencement of any works (excluding Enabling Works) a Method Statement for the protection of internal and external architectural details including all existing ornamental features including chimney pieces, plasterwork, architraves, panelling, doors and staircase balustrading and historic building fabric from damage during the full duration of all works (including potential theft during construction) shall be submitted to and approved in writing by the Local Planning Authority. The works shall be implemented in accordance with the approved details prior to commencement of any works and the protection methods shall be retained for the duration of the works.

In order to preserve the special architectural or historic interest of the listed building in accordance with Policies DC1, DC4 and DC8 of the Local Plan 2018.

Architectural Features Salvage and Security

- 20) Any hidden historic features which are revealed during the course of the works shall be retained on site. Works shall be immediately suspended in the relevant area of the building upon discovery of such features and the Local Planning Authority notified. Works shall remain suspended in the relevant area until the Local Planning Authority authorises a scheme of works for either retention or removal and recording of the hidden historic features.

In order to preserve the special architectural or historic interest of the listed building in accordance Policies DC1, DC4 and DC8 of the Local Plan 2018.

- 21) Prior to the commencement of any works (excluding Enabling Works) details including a method statement of the arrangements for the salvage, secure storage and reuse of redundant architectural features (including doors and stained glass windows and the 1934 Extension opening plaque) shall be submitted to and approved in writing by the Local Planning Authority. The works

shall be implemented in accordance with the approved details and the salvaged items shall thereafter be permanently retained in accordance with the approved details.

In order to preserve the special architectural or historic interest of the listed building in accordance with policies DC1, DC4 and DC8 of the Local Plan 2018.

Masonry Cleaning

- 22) Prior to commencement of the relevant works (excluding Enabling Works) as set out in the agreed Phasing Programme, details and a method statement for the cleaning of any areas of brick, stone or concrete shall be submitted to and approved in writing by the Local Planning Authority. The details shall demonstrate the protection of internal and external surfaces. A sample area for the cleaning of each surface type shall be undertaken on site in a location to be agreed in writing by the Local Planning Authority for the inspection and approval of the Council's conservation officer. The cleaning programme shall be undertaken in accordance with the approved details.

In order to preserve the special architectural or historic interest of the listed building in accordance with policy DC8 of the Local Plan.

Local History Plaque

- 23) Prior to occupation of the development, details of a local history plaque including its text and materials and a detailed drawing at a scale of not less than 1:20 in plan and elevation of the location where it shall be displayed on the building, shall be submitted to and approved in writing by the Local Planning Authority. The plaque shall be installed in accordance with the approved details and thereafter permanently retained in situ.

In order to better reveal the special architectural or historic interest of the listed building in accordance with Policy DC1 and DC8 of the Local Plan

Internal Signage Strategy

- 24) Prior to occupation of the development, an internal signage strategy for the listed building to include details of location, materials, colour scheme, fonts, method of illumination, and method of attachment to the building fabric shall be submitted to and approved in writing by the Local Planning Authority, and all work shall be carried out in accordance with the approved details.

In order to preserve the special architectural or historic interest of the listed building in accordance with Policy 7.8 of the London Plan and Policies DC1 and DC8 of the Local Plan 2018.

Photographic Records

- 25) Prior to commencement of any works, an updated internal and external photographic record of the building identifying key features within each room and all circulation spaces with locations of each photograph marked on floor plans

shall be submitted to and approved in writing by the Local Planning Authority and a copy of the approved photographic record and floorplans shall be deposited at the Local Archives prior to commencement of the works hereby approved.

In order to preserve the special architectural or historic interest of the listed building, in accordance with Policy DC8 of the Local Plan 2018.

Heritage Management and Maintenance Plan

- 26) Prior to occupation of any part of the development, a Heritage Management and Maintenance Plan for the development shall be submitted to and approved in writing by the Local Planning Authority. The plan shall include a programme for the ongoing regular survey, repairs and maintenance of the building and include clear responsibilities for each party with an interest in the upkeep of the building following completion of the development. The Plan shall be updated every 5 Years and submitted to the Local Planning Authority. The building shall be managed and maintained in accordance with the approved Plan.

In order to preserve the special architectural or historic interest of the listed building, in accordance with Policy DC8 of the Local Plan 2018.

**LOCAL GOVERNMENT ACT 2000
LIST OF BACKGROUND PAPERS**

All Background Papers held by Andrew Marshall (Ext: 3340):

Application form received:
Drawing Nos: See condition 2 above

Policy documents: National Planning Policy Framework 2019
The London Plan 2016
LBHF Local Plan 2018
LBHF - Planning Guidance Supplementary Planning Document
2018

Comments from:	Dated:
Historic England London Region	09.12.19
Environment Agency - Planning Liaison	01.08.19
Historic England London Region	23.07.19
Thames Water - Development Control	07.08.19
Environment Agency - Planning Liaison	12.07.19
The Theatres Trust	02.08.19
Historic England London Region	06.12.19
Environment Agency - Planning Liaison	19.12.19
The Theatres Trust	19.12.19
Greater London Archaeological Advisory Service	01.08.19/ 06.12.19

Neighbour Comments:

Letters from:	Dated:
21 Barclay Road London SW6 1EJ	16.08.19
21 Barclay Road London SW6 1EJ	12.08.19
59 Clancarty Road Fulham London SW6 3AH	19.07.19
3 Walham Green Court Cedarne Road London SW6 2DH	07.08.19
11 Harwood Road Fulham London SW6 4QP	05.12.19
19 Barclay Road London SW6 1EJ	18.07.19
55 Ingrebourne Apartment's, 5 Central Avenue London SW6 2GG	13.12.19
42 Peterborough Road Church lane London SW6 3DZ	14.12.19
25 Harwood Road London SW6 4QP	28.07.19
Flat 230 Sir Oswald Stoll Mansions 446 Fulham Road London SW6 1DR	22.07.19

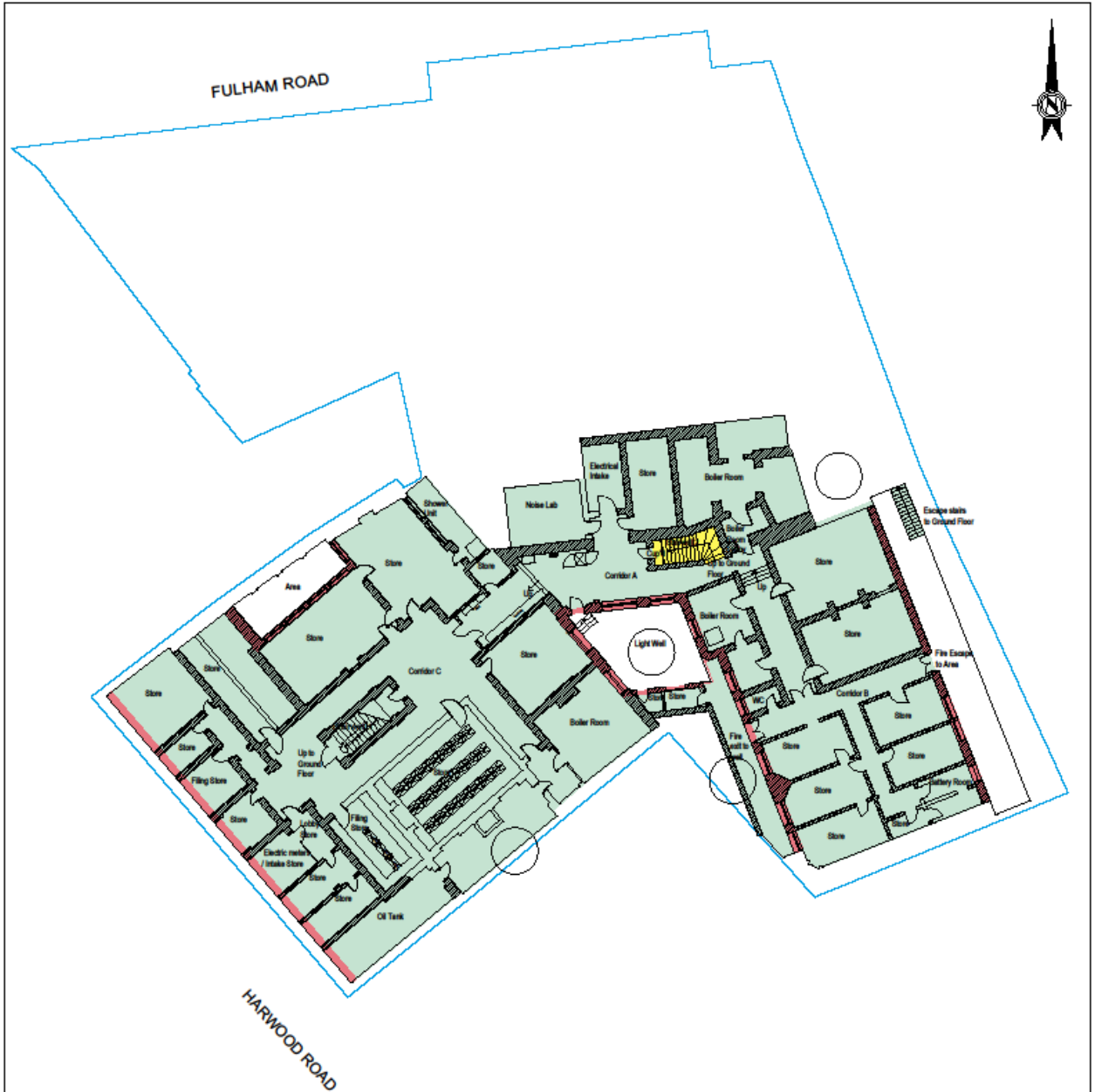
7A Anselm Road London SW6 1LH

23.12.19

Stoll 446 Fulham Road London SW6 1DT

30.07.19

APPENDIX 1 – SIGNIFICANCE PLANS



KEY

- High Significance – Elements that are key characteristics and essential to an informed understanding and appreciation of the architectural, historic and artistic interest of the building including, but not limited to the reasons for listing designation as set out by Historic England.
- Medium Significance – Elements that illustrate and contribute positively to an informed understanding and appreciation of the architectural, historic and artistic interest of the building.
- Low Significance – Elements that illustrate little or make no clear contribution to an informed understanding and appreciation of the architectural, historic and artistic interest of the building.
- Potential zones for new lift shafts to be installed

NOTE: Based upon drawing no. 1296_DWG_00_801 Rev P1, produced by Hawkins|Brown, April 2011

— Site Boundary

<p>LONDON BOROUGH OF HAMMERSMITH & FULHAM TRANSPORT & HIGHWAYS TOWN HALL, KING STREET LONDON, W6 9JU Telephone 020 8748 3020</p>	<p>PROJECT</p> <p style="text-align: center;">FULHAM TOWN HALL HERITAGE ASSESSMENT AREAS OF SIGNIFICANCE</p> <p style="text-align: center;">EXISTING BASEMENT PLAN</p>	<p>NOTES</p>																								
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 33%;">Drawn</td> <td style="width: 33%;">Checked</td> <td style="width: 33%;">Approved</td> </tr> <tr> <td style="text-align: center;">WAS</td> <td style="text-align: center;">HOR</td> <td style="text-align: center;">CP</td> </tr> <tr> <td colspan="3">Scale</td> </tr> <tr> <td colspan="3" style="text-align: center;">Not To Scale</td> </tr> <tr> <td colspan="3">Original Sheet Size</td> </tr> <tr> <td colspan="3" style="text-align: center;">A3</td> </tr> <tr> <td>DWG No.</td> <td>Revision</td> <td>Date</td> </tr> <tr> <td style="text-align: center;">31153/0/1</td> <td style="text-align: center;">-</td> <td style="text-align: center;">Mar '18</td> </tr> </table>	Drawn	Checked	Approved	WAS	HOR	CP	Scale			Not To Scale			Original Sheet Size			A3			DWG No.	Revision	Date	31153/0/1	-	Mar '18	<p>© Crown copyright and database rights 2018 CG Licensor No. LA10009223</p>	<p>Developed and created by the Land & Asset Survey Team. This drawing is Copyright.</p>
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Scale																										
Not To Scale																										
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DWG No.	Revision	Date																								
31153/0/1	-	Mar '18																								



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 - Low Significance – Elements that illustrate little or make no clear contribution to an informed understanding and appreciation of the architectural, historic and artistic interest of the building.
 - Potential zones for new lift shafts to be installed
- NOTE: Based upon drawing no. 1296_DWG_00_801 Rev P1, produced by HawkinsBrown, April 2011
- Site Boundary

LONDON BOROUGH OF HAMMERSMITH & FULHAM
 TRANSPORT & HIGHWAYS
 TOWN HALL, KING STREET
 LONDON, W6 5AJ
 Telephone 020 8748 3020

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Not To Scale	A3		
DWG No:	Revision	Date	
31153/0/5	-	Mar '18	

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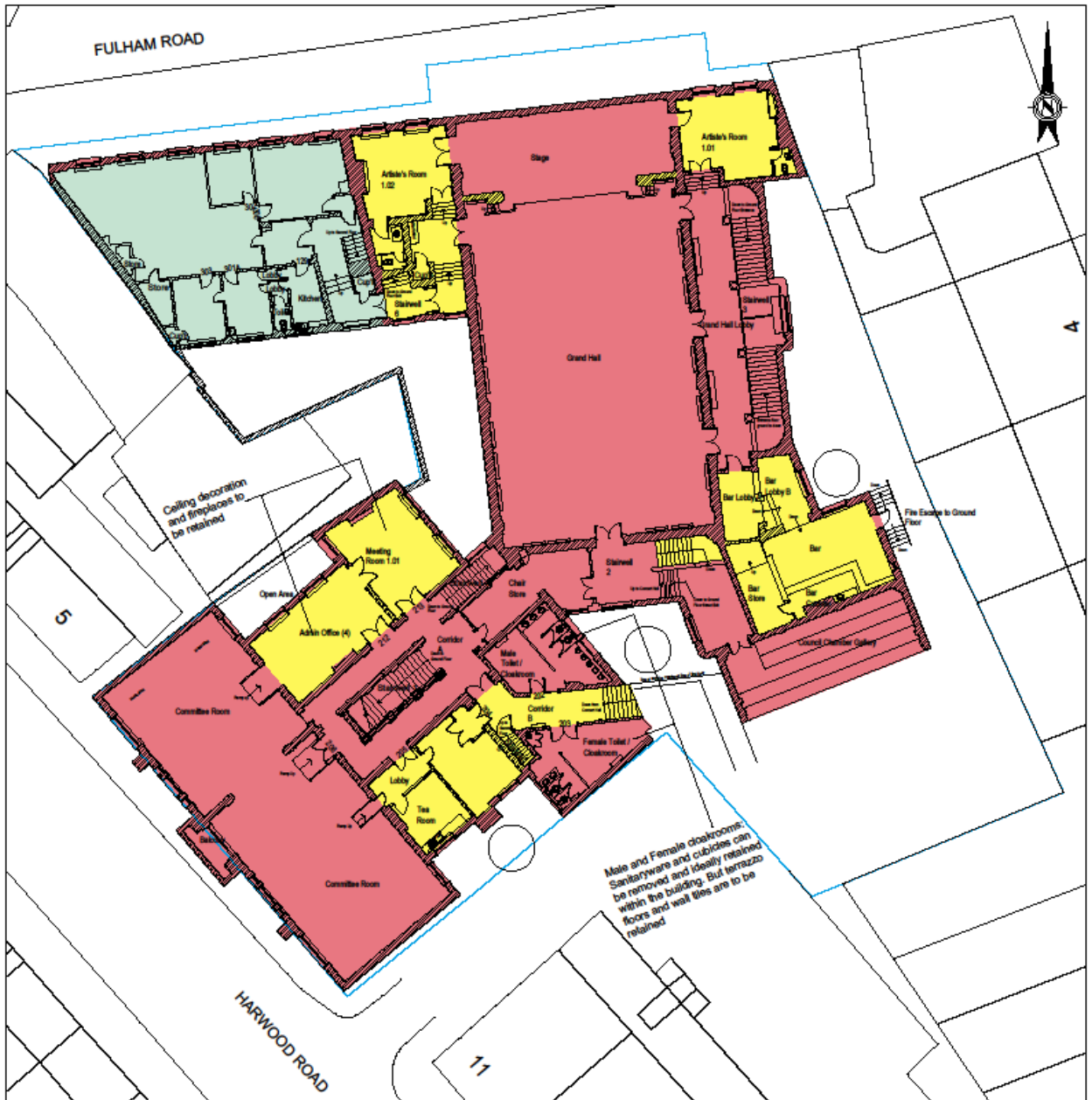
PROJECT

**FULHAM TOWN HALL
 HERITAGE ASSESSMENT
 AREAS OF SIGNIFICANCE**

EXISTING GROUND FLOOR PLAN

NOTES

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KEY

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- Medium Significance – Elements that illustrate and contribute positively to an informed understanding and appreciation of the architectural, historic and artistic interest of the building.
- Low Significance – Elements that illustrate little or make no clear contribution to an informed understanding and appreciation of the architectural, historic and artistic interest of the building.
- Potential zones for new lift shafts to be installed

NOTE: Based upon drawing no. 1296_DWG_00_801 Rev P1, produced by Hawkins/Brown, April 2011

Site Boundary

LONDON BOROUGH OF HAMMERSMITH & FULHAM
 TRANSPORT & HIGHWAYS
 TOWN HALL, KING STREET
 LONDON, W6 3JY
 Telephone 020 8748 3030

Drawn	Checked	Approved
WAS	HOR	CP
Scale		Original Sheet Size
Not To Scale		A3
DWG No.	Revised	Date
31153/9/2	-	Mar '18

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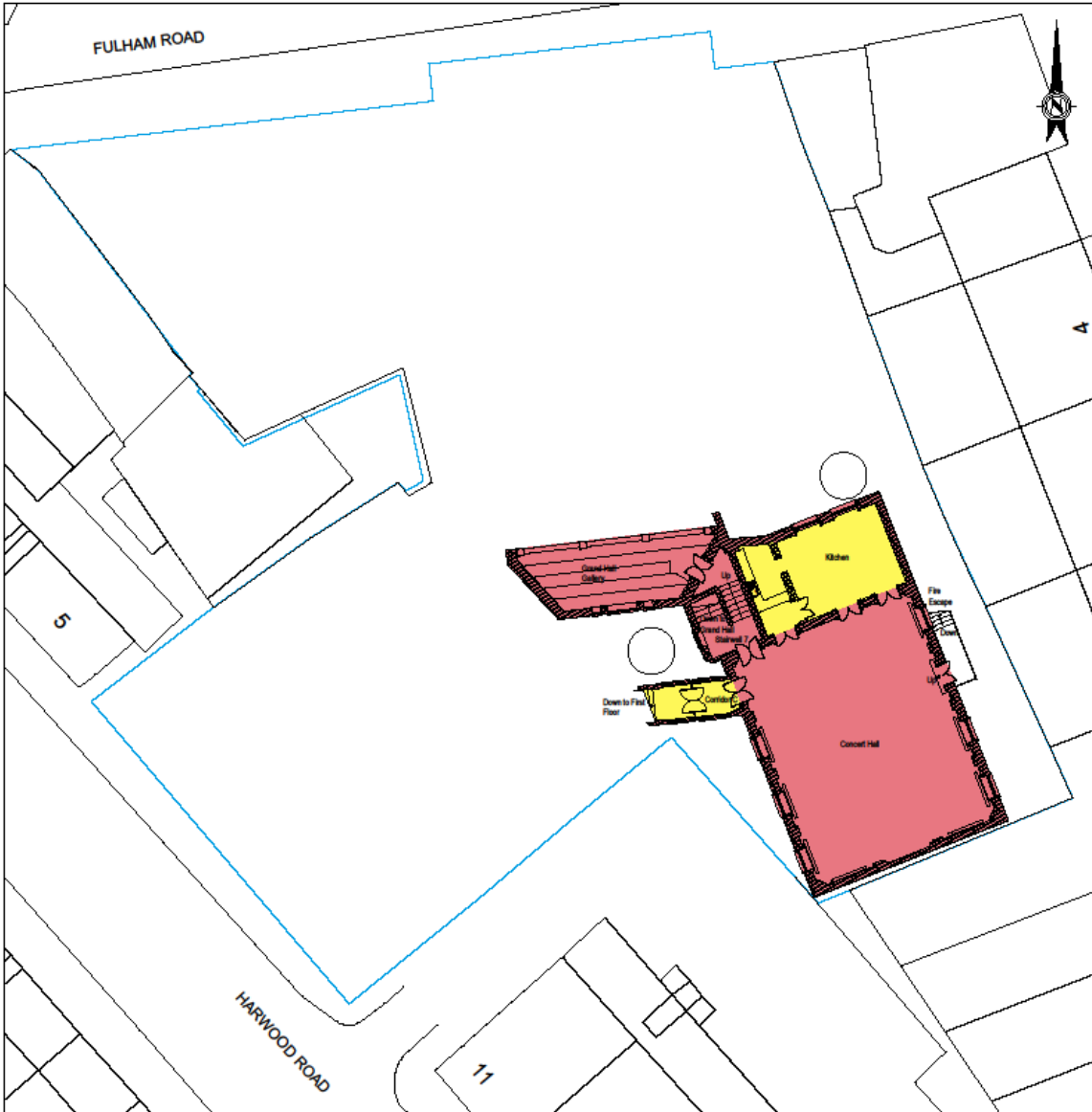
PROJECT

**FULHAM TOWN HALL
 HERITAGE ASSESSMENT
 AREAS OF SIGNIFICANCE**

EXISTING FIRST FLOOR PLAN

NOTES

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KEY

- High Significance – Elements that are key characteristics and essential to an informed understanding and appreciation of the architectural, historic and artistic interest of the building including, but not limited to the reasons for listing designation as set out by Historic England.
- Medium Significance – Elements that illustrate and contribute positively to an informed understanding and appreciation of the architectural, historic and artistic interest of the building.
- Low Significance – Elements that illustrate little or make no clear contribution to an informed understanding and appreciation of the architectural, historic and artistic interest of the building.
- Potential zones for new lift shafts to be installed

NOTE: Based upon drawing no. 1296_DWG_00_801 Rev P1, produced by Hawkins/Brown, April 2011

— Site Boundary

LONDON BOROUGH OF
HAMMERSMITH & FULHAM
TRANSPORT & HIGHWAYS
TOWN HALL, KING STREET
LONDON, W6 3JU
Telephone 020 8746 3000

PROJECT

**FULHAM TOWN HALL
HERITAGE ASSESSMENT
AREAS OF SIGNIFICANCE**

NOTES

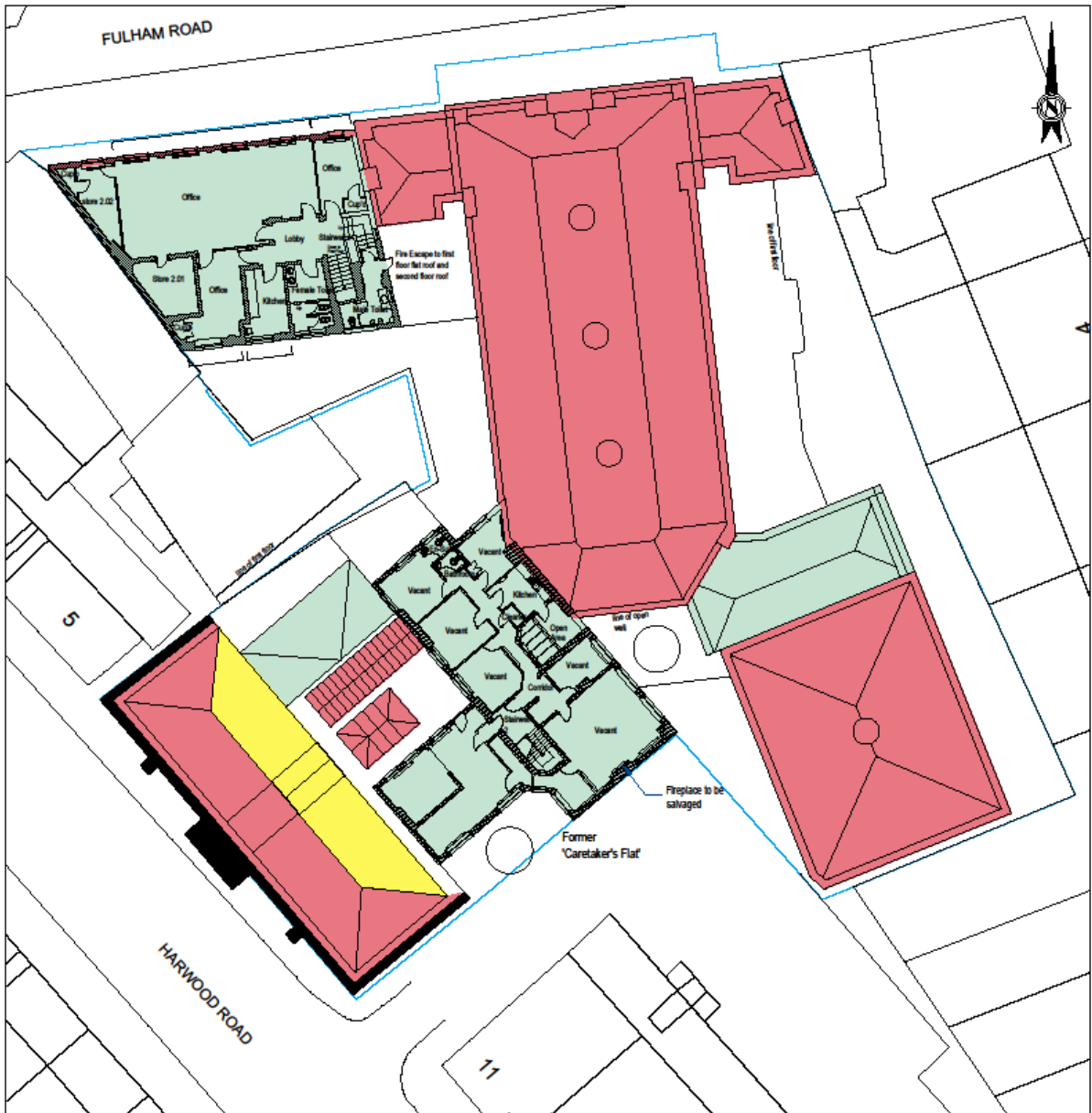
Date Rev Init

Drawn	Checked	Approved
WAS	HOR	CP
Scale	Original Sheet Size	
Not To Scale	A3	
DWG No.	Revised	Date
31153/9/3	-	Mar '18

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EXISTING FIRST FLOOR (MEZZANINE) PLAN

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KEY

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Site Boundary

<p>LONDON BOROUGH OF HAMMERSMITH & FULHAM TRANSPORT & HIGHWAYS TOWN HALL, KING STREET LONDON, W6 5JU Telephone 020 8748 3020</p>			<p>PROJECT</p> <p>FULHAM TOWN HALL HERITAGE ASSESSMENT AREAS OF SIGNIFICANCE</p>
<p>Drawn: WAS</p> <p>Scale: Not To Scale</p> <p>DWG No: 31153/0/4</p>	<p>Checked: HOR</p> <p>Original Sheet Size: A3</p> <p>Revisions: -</p>	<p>Approved: CP</p> <p>Date: Mar '18</p> <p><small>© Crown copyright and database rights 2018 OS Licence No. LA100019223</small></p>	<p>EXISTING SECOND FLOOR / ROOF PLAN</p> <p><small>Developed and created by the Land & Asset Survey Team. This drawing is Copyright.</small></p>